



**FLOOD LIGHTING REPORT
RESIDENTIAL DEVELOPMENT
HARTFIELD PLACE**

**Residential Development,
Hartfield Place**

**Project: 2218
Issue: Planning
Rev: A
Date: March 2022**

Project Details:

Project: Residential Development, Hartfield Place

Client: Eastwise Construction Swords Limited

Architect: C + W O'Brien Architects
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Document Details:

Version	Title	Author
Rev A	Flood Lighting Report	Fallon Design Ltd

Distribution Details:

Name	Method	Issue Date	Revision
Eastwise Construction Swords Limited	Email Copy	25.03.22	A

1. Introduction

This report has been commissioned by Eastwise Construction Swords Limited to determine if the existing floodlighting at St. Colmcille's GAA Whitehall will have an impact on the proposed Hartfield Development. The development will be adjacent to the new floodlighting installation to east and west perimeters of the existing GAA pitch, consisting of 6 no. (six) 16m columns with a total of 40 no. floodlight luminaires, as well as all associated site & landscaping works.

2. Development Description

The proposed development will consist of the construction of 7 no. blocks in heights up to 8 storeys (over single level basement) comprising 472 no. apartment units, a creche, café unit, and internal residential amenity space. The proposal also includes car, cycle, and motorcycle parking, public and communal open spaces, landscaping, bin stores, plant areas, substations, switch rooms, and all associated site development works and services provision. A full description of the development is provided in the statutory notices and in Chapter 3 of the EIAR submitted with the application.

3. Floodlighting Planning Permission & Installation

Planning permission for the GAA pitch floodlighting installation was submitted in 2018 including, elevations, layout plan and bat report. The planning submission details light spill, louvres, directional lighting, and lighting controls.

The application for floodlight (Ref: 4190/18) states "The development will consist of the installation of new floodlighting to east and west perimeters of the existing GAA pitch, consisting of 6 no. (six) 16m columns with a total of 40 no. floodlight luminaires, as well as all associated site & landscaping works." This was appealed to ABP and granted permission.

The council conditions are as follows, Reference Appendix: 8.1, 8.2 & 8.3

- The development hereby approved shall adhere to the specifications and limitations for the type of floodlights and the operation of the floodlights set out within the report 'Lighting Report and Assessment associated with the proposed floodlighting of the pitch' received by the Planning Authority on 6th June 2019. The lamps to be used shall be maintained in good order to ensure compliance with the required Lux levels and to ensure the correct light angles are maintained on the pitch and do not create increased light spill to nearby properties.
- The floodlights shall not be in operation between the hours of 22:00 and 10:00 Monday to Sunday. Reason: To protect the residential amenities of the adjoining properties.

A summary of the ABP-304997 Conditions are as follows, reference Appendix: 9.1, 9.2, 9.3 for full text of the permission granted.

1. "The development shall be carried out and completed in accordance with the plans and particulars lodged with the application, as amended by the further plans and particulars submitted on the 6th day of June, 2019, except as may otherwise be required in order to comply with the following conditions. Where such conditions require details to be agreed with the planning authority, the developer shall agree such details in writing with the planning authority prior to commencement of development and the development shall be carried out and completed in accordance with the agreed particulars."

2. "The floodlights or any equivalent replacement floodlights shall be of the asymmetrical down-light type, fitted with spill-lighting control louvres. The floodlights shall be directed onto the playing surface of the pitch and away from adjacent housing and gardens. The floodlights shall be directed and cowed such as to reduce, as far as possible, the light scatter over adjacent lands, houses and gardens. Reason: In the interest of residential amenity".

3. "The floodlights shall not be in operation between the hours of 2200 and 1000 Monday to Sunday. Reason: To protect the residential amenities of the adjoining properties."

4. “The development hereby approved shall adhere to the specifications and limitations for the type of floodlights and the operation of the floodlights set out within the report ‘Lighting Report and Assessment associated with the proposed floodlighting of the pitch’ received by the planning authority on the 6th day of June, 2019. The lamps to be used shall be maintained in good order to ensure compliance with the required Lux levels and to ensure the correct light angles are maintained on the pitch and do not create increased light spill to nearby properties. Reason: To protect the residential amenities of the adjoining properties.”
5. Drainage arrangements, including the attenuation and disposal of surface water, shall comply with the requirements of the planning authority for such works and services. Reason: In the interest of public health.
6. The construction of the development shall be managed in accordance with a Construction Management Plan, which shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. This Plan shall provide details of measures to protect the Dublin Port Tunnel, the intended construction practice for the development, including noise management measures and off-site disposal of construction/demolition waste. Reason: In the interests of public safety and residential amenity.
7. Site development and building works shall be carried out between the hours of 0800 to 1800 Mondays to Fridays inclusive, between 0800 to 1400 hours on Saturdays and not at all on Sundays or public holidays. Deviation from these times shall only be allowed in exceptional circumstances where prior written approval has been received from the planning authority. Reason: In order to safeguard the residential amenities of property in the vicinity.

A summary of the ABP-304997-19 Inspector’s Report are as follows, reference Appendix: 5.1, 5.2

7.3. Lighting & Residential Impact

7.3.1. “The grounds of appeal assert that the proposed development would result in excess artificial light from the floodlights spilling into these adjoining areas, which would have undue impacts on the amenities of existing residents along the southeast side of the site and the amenities of future occupants of permitted apartments on open lands adjoining the site to the south. The grounds of appeal also seek clarification regarding certain aspects of the development and the extent of controls that would be applied in the operation of the proposed floodlighting. In response, the applicant states that the proposed development has been designed cognisant of the adjoining areas, including housing along the southeast site, and that the additional lighting to neighbouring areas over the existing levels would not be significant. Within the planning application, including the Lighting Report and Lighting Assessment, the applicant has outlined the technical specifications for the proposed development and the controls and features that would be applied to reduce the potential impact of the development on the immediate area”.

7.3.2. “The proposed floodlighting would be capable of operating at two lux levels. A 100 lux mode would be used during training sessions, while a brighter 300 lux mode would operate during matches, which are anticipated to amount to one match per week during October and March. The floodlights would feature an automatic daily cut-off time of 2200 hours. Furthermore, the floodlights would be an asymmetrical down-light type that would be fitted with spill lighting control louvres and would not feature upward light.”

7.3.3. “According to the applicant the lighting design complies with the standards provided for in the Institute of Lighting Professionals: (ILP) Guidance Notes for the Reduction of Obtrusive Light GN01:2011. Based on this ILP guidance, the immediate site area would fall into environmental zone ‘E – medium district brightness areas’, and the guidance sets specific exterior light limitations set for this environment. As part of the further information response, the applicant has submitted a drawing (no. DWG 02) illustrating the lux level of lighting on the pitch and its environs based on a standard floodlit match scenario with a 300 lux level and with a maintenance factor of 0.9 (i.e. a 10% reduction in lighting levels)”

7.3.4. “Policies SI26 and SI27 of the Development Plan require lighting proposals to address light spillage and to be appropriate to the end use. The lighting assessment undertaken reveals that the extent of light overspill into neighbouring properties arising from the installation of the proposed floodlights would be most pronounced within the rear gardens of properties to the southeast along High Park. The extent of light spilling into these areas would result in a lux level of 0.2 to 0.8, which would generally be akin to the standard lux level of lighting arising from street lights. Conditions can be attached to ensure that the floodlighting system operates to the levels described and, while the appellant has sought a daily cut-off time of 2130 hours, I am satisfied that given the likely extent of use, the estimated light overspill and the immediate urban context, an automatic daily cut-off time of 2200 hours would be appropriate”.

7.3.5. “In conclusion, I am satisfied that the extent of controls and design features proposed would suitably alleviate the potential extent of light spill into the immediate areas. Consequently, I am satisfied that the proposed development would be in line with relevant Development Plan policies SI26 and SI27 and would not result in undue impacts on the residential amenities of neighbouring properties, both existing, and permitted.”

4. Stakeholder Observations

On record there are two enforcement warning letters relating to this site, none which are relevant to the floodlighting. It was alleged that there is non-compliance with Condition No. 7 of planning permission granted by An Bord Pleanála (Reference ABP- 304997-19) under Planning Register reference 4190/18.

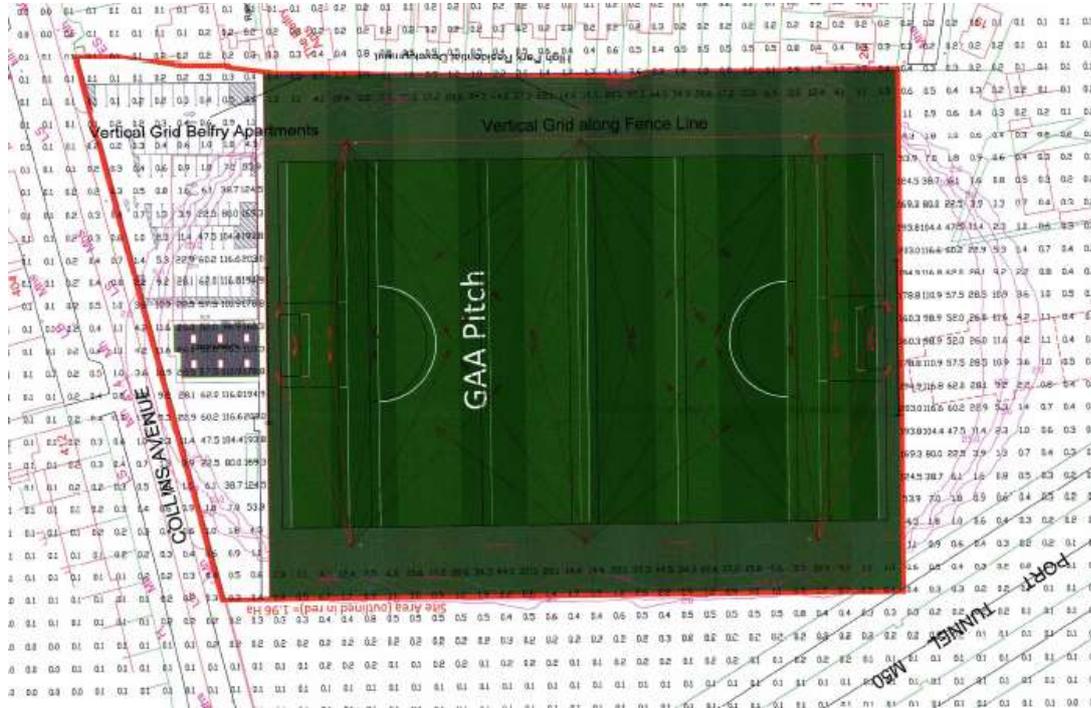
Condition No. 7 relates to site development and building works being carried outside granted working hours for the installation of the floodlighting.

Fallon Design are unaware of any other observations regarding the floodlighting as installed in St. Colmcille’s GAA, Whitehall.

5. Technical Assessment

It is Fallon Design’s opinion the flood lighting installation as designed and installed in St. Colmcille’s GAA Whitehall is in accordance with the relevant standards and best practice for mitigation of light pollution on adjoining lands and neighbouring properties.

Light Spill Analysis extract: (Reference Appendix 6.2)



The light spill calculations show a high shut off lux levels from the flood lighting. The asymmetrical down-light LED fittings selected for their directional properties and additional control louvers noted as being installed are appropriate lamp selections for the application.

Philips OptiVision
BVP527



The ABP opinion stating “the extent of light spilling into these areas would result in a lux level of 0.2 to 0.8, which would generally be akin to the standard lux level of lighting arising from street lights” is an accurate assessment of the installation.

6. Hartfield Proposed Development Design

The proposed Hartfield developments building layout relative to the GAA pitch is such that only one gable of Block F is in close proximity and will have a direct view of the sports pitch. The windows on this elevation are secondary kitchen windows of the apartments.

Proposed Site Plan Extract:



7. Summary

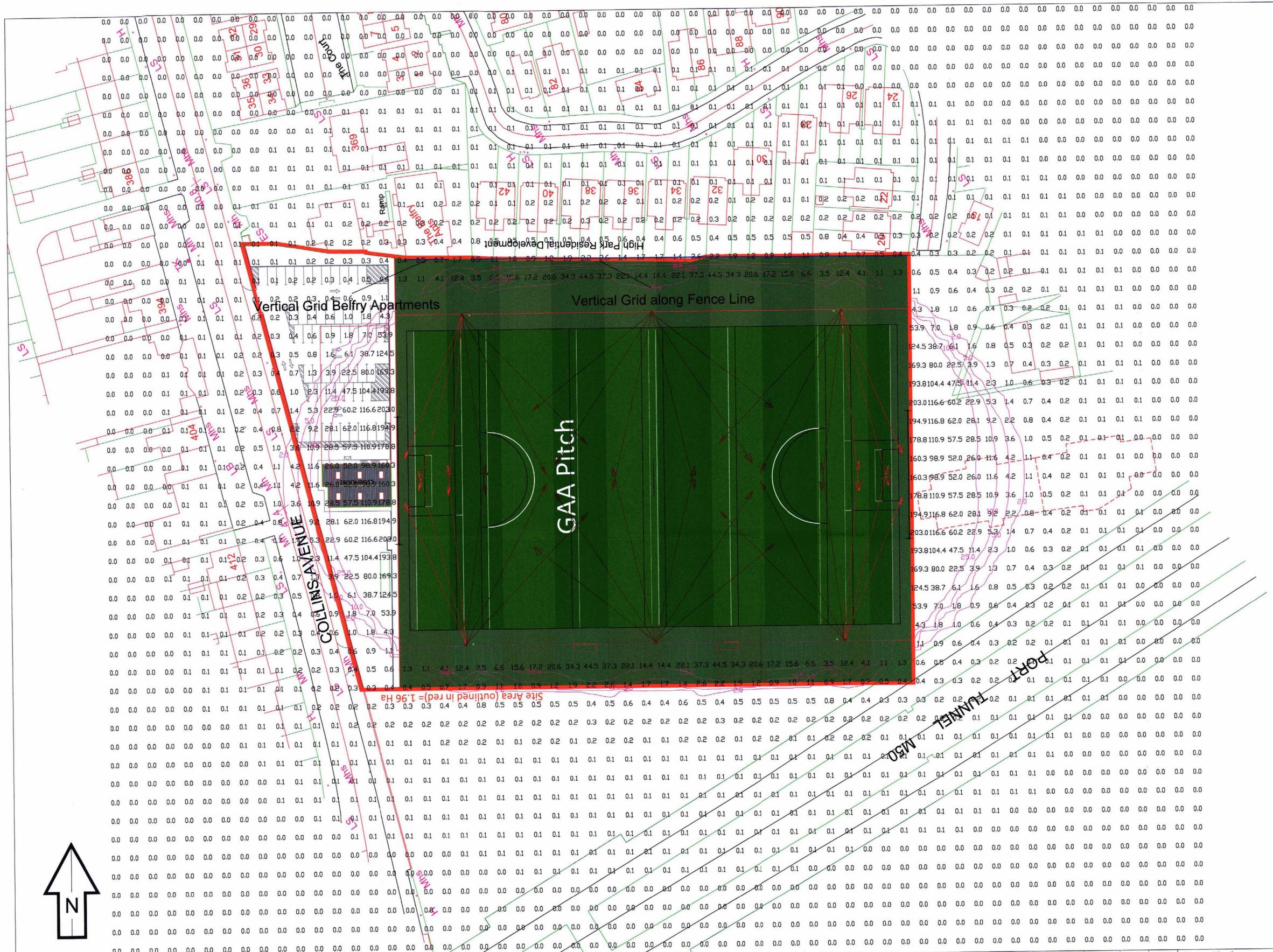
From review of the documentation the existing sports LED floodlighting at the St. Colmcille's GAA, Whitehall has been sufficiently designed to mitigate any adverse light spill into the proposed Hartfield development and surrounding property. Due process and adherence to the planning and appeal process has taken place to ensure this remains the case with prescribed operation, maintenance and replacement conditions. Based on the design documents Fallon Design's opinion is the GAA sports flood lighting will not have any adverse effects on the proposed Hartfield Development.

8. Appendix:

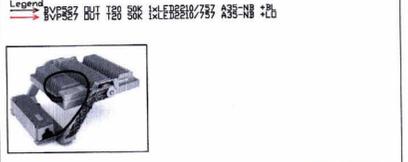
- 8.1 **Light Spill Plan**
- 8.2 **Lights Elevations**
- 8.3 **Lighting Report for the adjacent site**

9. Appendix:

- 9.1 **ABP 304997-19 BD-004541-19 - DIRECTION RE FLOOD LIGHTING**
- 9.2 **ABP-304997-19 - INSPECTORS REPORT RE FLOOD LIGHTING**
- 9.3 **ABP-304997-19 - RE FLOOD LIGHTING**



Key:
 Design based on Philips 150w Optivision G3 LED Floodlight
 All Luminaires have Louvres fitted to restrict Spill light onto adjacent properties. These are a mix of full cut off LO louvres aiming towards sides and a Back Louvre on fittings aiming further into the pitch.
 6 no 18m Columns with a total of 36 No. Floods
 Two Switching Modes Included (if required), although best way to reduce lighting levels with LED is to dim all fittings down to maintain the same high levels of uniformity.
 Competition Level 300 Lux - (36 Floods)
 300+ Lux Maintained Avg / Uniformity 0.70
 Training Level 100 Lux - (20 Floods)
 150+ Lux Maintained Avg / Uniformity 0.50
 A maintenance factor of 0.9 has been applied to this scheme therefore the lighting levels on "Day One" will be 10% higher than shown in this document.



Whitehall Colmcille GAA
 a=229472, d=115564
 Philips Lighting Ireland Ltd
 Date: 26.12.2018

2. Summary

2.1 Project Luminaires

Code	Qty	Luminaire Type	Lamp Type	Power (W)	Plan (m)
1	36	PHILIPS CUT OFF LOK-ASB-48-18	1 * LED3210/57	150.00	1 * 20000
2	12	PHILIPS CUT OFF LOK-ASB-48-18	1 * LED3210/57	150.00	1 * 20000
0					

The total installed power: 65.88 (kWatt)

Number of Luminaires Per Switching Mode:

Switching Mode	Luminaire Code	Power (kWatt)
300 Lux Level	1	56.88
Training Level 100 Lux	2	21.60
Spill Light	3	6.88

2.2 Calculation Details

Switching Mode	Code	Switching Mode	Maintenance Factor
1	300 Lux Level	1	0.90
2	Training Level 100 Lux	2	0.90
3	Spill Light	3	1.00

Uniformity Calculations:

Calculation	Switching Mode	Type	Unit	Avg	Min	Max	Min/Avg	Max/Avg
GAA Pitch 300 Lux	1	Surface Illuminance	lx	315	224	441	0.70	0.91
GAA Training Level	2	Surface Illuminance	lx	171	103	280	0.60	0.38
Fence Line Along Fences	3	Surface Illuminance	lx			173		
Spill Outside	3	Surface Illuminance	lx			144		

Clear Height for Grid of Observers:

Calculation	Switching Mode	Clearance Grid	Reference Grid	Reference	Grid Max
0/0 Max	1	Colmic Games	Colmic Games	0.25	4.4

Observed Light Calculations:

Switching Mode	LER
1	0.00
2	0.00
3	0.00

PLANNO. 4190 /18
 ADDINFO REC 06/06/19

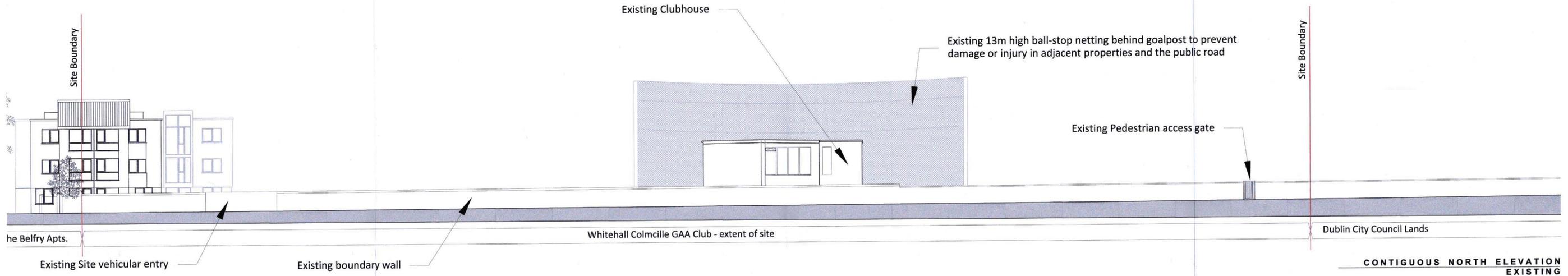


Notes:
 1) Unless agreed otherwise, the lighting proposal produced by the Lighting Application Specialist (LIAS) team of Signify UK&I is not intended for construction purposes, as it does not take into account the elimination of health and safety risks at this stage. For further details please refer to sheet number DWG 00
 2) Do not scale for this drawing

PROPOSAL
 (NOT FOR CONSTRUCTION)

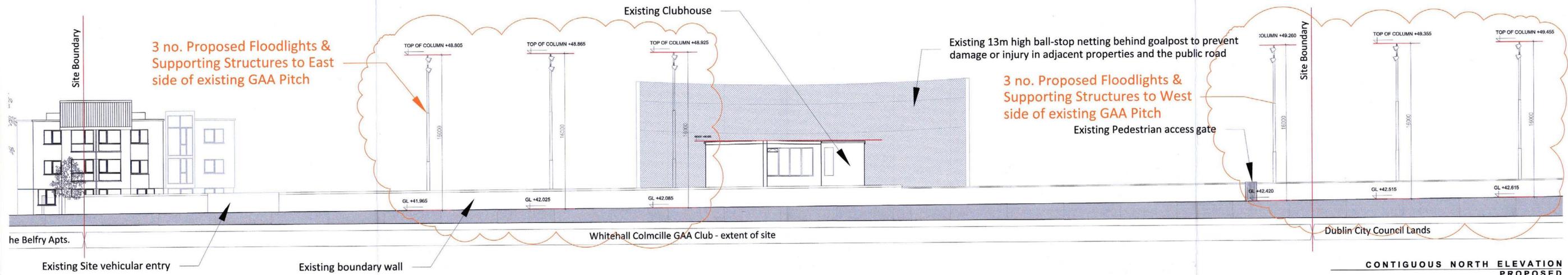
Rev	DSR no.	Comment	Date	LIAS	KAM
4	D-274375	LED Option with very low Spill	04/12/18	SJ	DM

Project Number	O-1994973	Project Name	Whitehall Colmcille GAA
Scale & Sheet Size	1:500 @ A1	Drawing Name	18m SPILL Ltg with Louvres
Sheet No	DWG 02		- 300 lux



CONTIGUOUS NORTH ELEVATION EXISTING

DCC PLAN NO: 4190/18
RECEIVED 17 OCT 18



CONTIGUOUS NORTH ELEVATION PROPOSED

NOTES

REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY

STATUS: PLANNING
DRAWING: CONTIGUOUS NORTH ELEVATION (COLLINS AVE.) AS PROPOSED
SCALE: 1:200 SHEET: A1 DRAWN: RV CHECKED: MF DATE: 23.10.18
PROJECT NO: 5302 DRAWING NO: (02) 009 REVISION:

PROJECT: WHITEHALL COLMCILLE GAA FLOODLIGHTS
CLIENT: WHITEHALL COLMCILLE GAA CLUB

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PLAN NO: 4190/18 ADD
INFO. REC 06/06/2019



Client:
Whitehall Colmcille GAA

Lighting Report and Assessment
associated with the proposed
floodlighting of the pitch

Issue:

Rev A

Project No A0866

Revision	Date	Prepared By	Approved By
A	04-06-2019	Bernard Byrne	Colman Reynolds AEng

DCU St Patricks Drumcondra – Pitch Redevelopment Project Lighting Report and Assessment

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- 1 Introduction**
- 2 Executive Summary**
- 3 How the projected surface illumination and spillage figures compare with existing levels and how they may affect adjoining residential properties to the south and east of the site.**
- 4 How the floodlights are designed to ensure minimum obtrusive light onto nearby residential properties.**

Planning Permission Application No 4190/18 Lighting Report & Assessment

1 Introduction

The following Lighting Report and Assessment provides the information requested as part of the Further Information Request from Dublin City Council dated 12th December 2018. The Further Information Request No 1 parts a, b & c are addressed in this report.

2 Executive Summary

The assessment report addresses each of the questions raised in the Further Information Request as follows:

How the projected surface illumination and spillage figures compare with existing levels and how they may affect adjoining residential properties to the south and east of the site.

The location of the proposed floodlighting is a relatively dark area of the site with little or no existing external lighting. The nearest adjoining lands to the proposed floodlighting are to the east and south. The proposed floodlighting system will have minimal impact on the adjoining lands with highest predicted light levels on adjacent buildings to the east at no more than 4 Lux.

How the projected surface illumination and spillage figures compare with existing levels and how they may affect adjoining residential properties to the south and east of the site.

The predicted surface illumination and spillage figures are within the limitations set out by ILE Guidance Notes for the Reduction of Obtrusive Light with predicted spill light levels not exceeding 10 Lux on the adjoining buildings.

How the floodlights are designed to ensure minimum obtrusive light onto nearby residential properties.

The proposed luminaires to be used for the floodlighting are down lighting asymmetrical floodlights with no upward light emitted above the horizontal, peak intensity at 50° and excellent cut-off at 90° so as to limit spill light.

3 How the projected surface illumination and spillage figures compare with existing levels and how they may affect adjoining residential properties to the south and east of the site.

The existing lighting on the Whitehall Colmcille GAA site consists of a relatively small amount of lighting spill from the club house buildings. There is currently no artificial lighting provided on the grass pitch area that adjoin the lands to the east and south of the site.

We carried out an after dark lighting level survey along the boundary of the Whitehall Colmcille GAA site as it adjoins lands to the east and south of the grass pitch area. The weather at the time of the lighting survey was cloudy but dry and calm. The existing lighting level along the boundary was recorded at less than 1 Lux. There was sufficient sky glow in this urban location to walk the Whitehall Colmcille GAA site boundary without the aid of a handheld torch or other similar type of artificial light. The lighting levels on the neighbouring streets were also measured and recorded as between 10 – 20 Lux on Collins Avenue and 5 – 15 Lux on the smaller residential roads.

The proposed maximum surface illumination is 300 Lux maintained with the provision to reduce lighting output to lower levels to match the particular activity of the pitch session. The proposed surface illumination of 300 Lux maintained on the pitch is in line with recommended floodlighting illumination levels for training/competitive GAA matches and the proposed floodlight type is asymmetrical down lighting type which direct the light downwards onto the pitch while cutting off upward and spill lighting. The projected spill light assessment taken at the higher 300 Lux maintained floodlighting level indicates that the spill lighting levels on adjoining buildings to the east and south will not be more than 5 Lux.

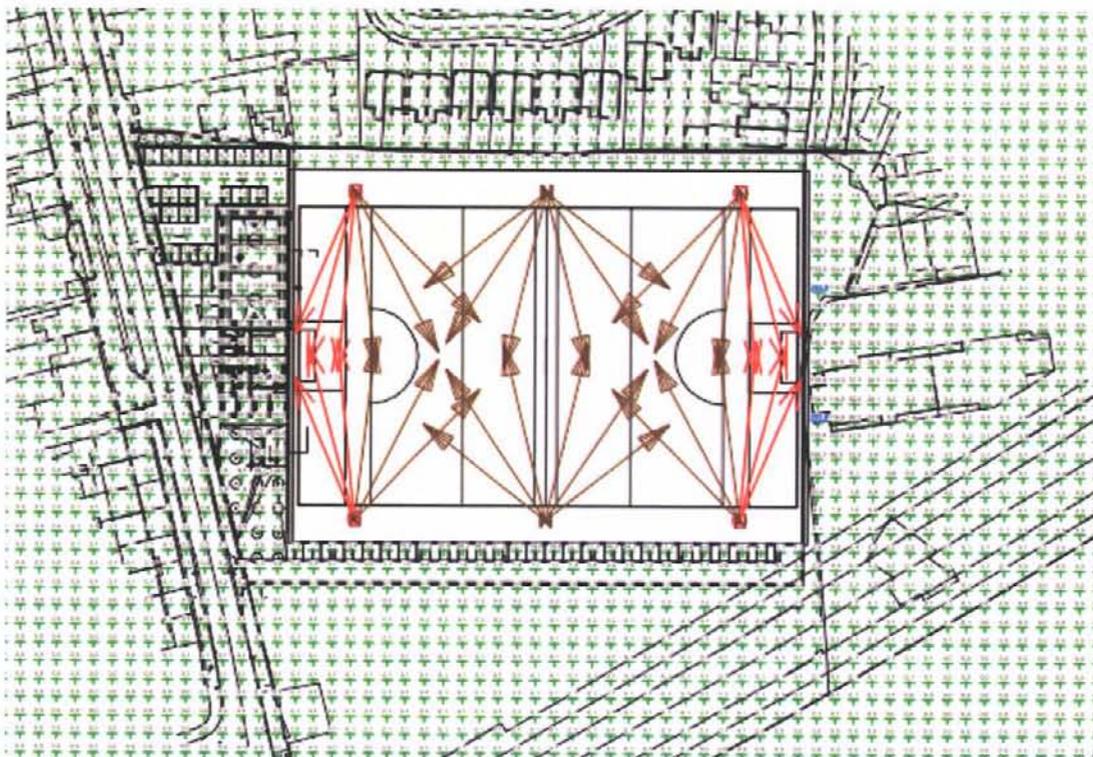


Fig 1. – Spill Light Assessment of the proposed floodlighting of the sports pitches

4 How the projected surface illumination and spillage figures compare with existing levels and how they may affect adjoining residential properties to the south and east of the site.

The Institution of Lighting Engineers Guidance Notes For The Reduction Of Obtrusive Light (GN01) categories areas within the following Environmental Zone:

Category	Examples	
E1:	Intrinsically dark landscapes	National Parks, Areas of Outstanding Natural Beauty, etc
E2:	Low district brightness areas	Rural, small village, or relatively dark urban locations
E3:	Medium district brightness areas	Small town centre or urban locations
E4:	High district brightness areas	Town/city centres with high levels of night-time activity

When considering the Whitehall Colmcille GAA site it can be categorised as **E3** Medium District Brightness Area given its urban location. GN01 sets out the following limitations with regard to obtrusive light for exterior lighting installations:

Table 1 – Obtrusive Light Limitations for Exterior Lighting Installations						
Environmental Zone	Sky Glow ULR (Max %)	Light Trespass (into Windows) Ev (Lux)		Source Intensity I (kcd)		Building Luminance Pre-curfew
		Pre-curfew	Post - curfew	Pre-curfew	Post - curfew	Average L
E3	5.0	10	2	10	1.0	10

- ULR** = Upward Light Ratio of the installation is the maximum permitted percentage of luminaire flux for the total installation that goes directly into the sky
- Ev** = Vertical Illuminance in Lux and is measured flat on the glazing at the centre of the window
- I** = Light Intensity in Cd
- L** = Luminance in Cd/m²
- Curfew** = The time condition of use applied by the Planning Authority

The following are the predicted illumination levels for the proposed floodlighting design compared to GN01 E3 limitations:

	Sky Glow ULR (Max %)	Light Trespass (into Windows) Ev (Lux)		Source Intensity I (kcd)		Building Luminance Pre-curfew
		Pre-curfew	Post - curfew	Pre-curfew	Post - curfew	Average L
GN01 E3 Limits	5.0	10	2	10	1.0	10
Predicted Design	0.0	5	0	6.9	0	4

The predicted illumination levels from the proposed floodlighting solution comply with the limitations set out in GN01 for E3 Medium District Brightness Areas.

5 How the floodlights are designed to ensure minimum obtrusive light onto nearby residential properties

The proposed floodlighting system has been designed to use downlighter type asymmetric illuminaries (see Fig 2 below) as opposed to tilted floodlight type illuminaries. The selected downlighter type asymmetric illuminaries use high efficiency LED optic design coupled with spill light control louvres so as to deliver peak intensity at 50° and has an excellent cut-off at 90° in the horizontal position. With peak intensity at 50° the majority of the light is directed onto the surface required to be illuminated and with the cut-off at 90° light spill into nearby properties is minimised. The proposed illuminaries have no upward light ensuring total cut-off of light above the horizontal of the illuminaries thus avoiding sky glow. The high efficiency allows for the minimum number of floodlights required to meet the proposed floodlighting levels on the surface to be illuminated.



Fig 2
Proposed Down Lighting Asymmetric Illuminaire

Fig 3. below illustrates the light emitted from a standard tilted floodlight illuminaire with poor cut-off allowing upward light contributing to sky glow and excessive spill light into adjacent properties.

Fig 4. below illustrates the light emitted from the proposed horizontally positioned asymmetric illuminaire which emits no light above the horizontal and with excellent cut-off minimises light spill into adjacent properties.



Fig 3. Standard Tilted Floodlight Illuminaries



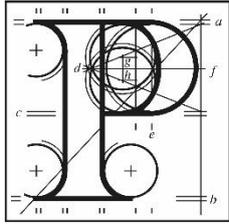
Fig 4. Horizontally Positioned Downlighter Illuminaries

The proposed illuminaire can be fitted with a Spill Lighting Control Louvre which does not impact on the task light levels light required while limiting unwanted spill light to the surrounding surface which does not require to be lit. Fig 5. Below shows the appearance of the Spill Light Control Louvre.



Fig 5. Spill Light Control Louvre

The height at which the illuminaries are mounted also has an impact on potential for obtrusive light emissions and the floodlighting design has incorporated the use of low height floodlighting columns. It is proposed to use 6no 18 meter high columns to floodlight the pitch area of Whitehall Colmcille GAA.



An
Bord
Pleanála

Board Direction
BD-004541-19
ABP-304997-19

The submissions on this file and the Inspector's report were considered at a Board meeting held on 18/11/2019.

The Board decided to grant permission generally in accordance with the Inspector's recommendation, for the following reasons and considerations, and subject to the following conditions.

Reasons and Considerations

Having regard to the nature and scale of the proposed development and to the established use of the site, it is considered that subject to compliance with the conditions set out below, the proposed development would not seriously injure the visual or residential amenities of the area or of property in the vicinity and would be in accordance with the policies of the Dublin City Development Plan 2016-2022, including policies G31 and SN19 supporting the improvement of sporting facilities and policies SI26 and SI27 requiring appropriately designed lighting proposals. The proposed development would, therefore, be in accordance with the proper planning and sustainable development of the area.

Conditions

1. The development shall be carried out and completed in accordance with the plans and particulars lodged with the application, as amended by the further plans and particulars submitted on the 6th day of June 2019, except

as may otherwise be required in order to comply with the following conditions. Where such conditions require details to be agreed with the planning authority, the developer shall agree such details in writing with the planning authority prior to commencement of development and the development shall be carried out and completed in accordance with the agreed particulars.

Reason: In the interest of clarity.

2. The floodlights or any equivalent replacement floodlights shall be of the asymmetrical down-light type, fitted with spill-lighting control louvres. The floodlights shall be directed onto the playing surface of the pitch and away from adjacent housing and gardens. The floodlights shall be directed and cowled such as to reduce, as far as possible, the light scatter over adjacent lands, houses and gardens.

Reason: In the interest of residential amenity.

3. P. A. C2(b)

4. P. A. C2(a)

5. Drainage arrangements, including the attenuation and disposal of surface water, shall comply with the requirements of the planning authority for such works and services.

Reason: In the interest of public health.

6. The construction of the development shall be managed in accordance with a Construction Management Plan, which shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. This Plan shall provide details of measures to protect the

Dublin port tunnel, the intended construction practice for the development, including hours of working, noise management measures and off-site disposal of construction/demolition waste.

Reason: In the interests of public safety and residential amenity.

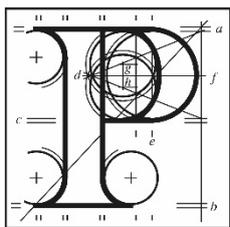
7. Site development and building works shall be carried out between the hours of 0800 to 1800 Mondays to Fridays inclusive, between 0800 to 1400 hours on Saturdays and not at all on Sundays or public holidays. Deviation from these times shall only be allowed in exceptional circumstances where prior written approval has been received from the planning authority.

Reason: In order to safeguard the residential amenities of property in the vicinity.

Board Member

Date: 18/11/2019

John Connolly



An
Bord
Pleanála

Inspector's Report ABP-304997-19

Development	Installation of floodlighting to the sides of a playing pitch, comprising six 18m-high support columns
Location	Whitehall Colmcille GAA Grounds, Collins Avenue, Whitehall, Dublin 9
Planning Authority	Dublin City Council
Planning Authority Reg. Ref.	4190/18
Applicant(s)	Whitehall Colmcille GAA Club
Type of Application	Permission
Planning Authority Decision	Grant
Type of Appeal	Third-Party
Appellant(s)	High Park Residents' Association
Observer(s)	Transport Infrastructure Ireland
Date of Site Inspection	21 st October 2019
Inspector	Colm McLoughlin

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1.0 Site Location and Description

- 1.1. The appeal site is located on the south side of Collins Avenue (R103 regional road), close to the intersection with the Swords Road (R132 regional road). It is approximately 3.5km north of Dublin city centre.
- 1.2. It is stated to measure 2ha and currently comprises the grounds of a GAA club, including a two-storey clubhouse and a grass playing pitch. Vehicular access is available from the northeast corner off Collins Avenue onto a car park area currently finished with loose gravel. The playing pitch is enclosed by a green-steel perimeter fence with sponsorship signs attached intermittently and 13m-high ball-stopping nets positioned directly to the rear of the goalposts on both ends of the playing pitch. Two dug-out structures are situated on the northwest side of the pitch and there are containers situated to the west side of the clubhouse. The front and southeast side boundaries are formed by capped block walls, while the northwestern boundary is formed by a 2m-high green steel fence.
- 1.3. The surrounding area is characterised by a variety of uses, including commercial units opposite the site to the north on Collins Avenue. Residential uses dominate the area to the southeast, including three-storey apartment blocks in The Belfry complex, and High Park residential estate comprising two-storey semi-detached houses. Lands adjoining to the northwest and southwest are open and undeveloped and do not appear to be in use at present for a specific purpose. Areas within these lands are situated over the M50 port tunnel and the application drawings submitted suggest that some of these lands may in future form part of the applicant's GAA club facilities. Ground levels on site are relatively flat, while in the surrounding area they generally drop gradually in a southeast direction.

2.0 Proposed Development

- 2.1. The proposed development initially submitted to the planning authority for their consideration comprised the following:
 - installation of floodlighting to both sides of a playing pitch, comprising six 16m-high support columns with a total of 40 luminaires.

2.2. In addition to the standard planning application documentation and drawings, the application was accompanied by a letter of consent to lodge the planning application from the stated owner of the lands; Dublin City Council. As part of a further information response the applicant submitted a structural report relating to the Dublin Port Tunnel, a Lighting Report and Lighting Assessment and a report assessing the impact of the proposed development on bat fauna. The height of the proposed support columns was increased to 18m and the number of proposed luminaires was reduced to 36 as part of this further information response.

3.0 Planning Authority Decision

3.1. Decision

3.1.1. The Planning Authority decided to grant permission for the proposed development, subject to nine conditions of a standard nature, including the following:

- Condition no.2(a) – the floodlights shall not operate between the hours of 2200 hours and 1000 hours Monday to Sunday;
- Condition 3(b) – a landscape plan shall be submitted with screening from areas where bats may be present;
- Condition 4 – a construction management plan shall be submitted with the written approval of Transport Infrastructure Ireland (TII).

3.2. Planning Authority Reports

3.2.1. Planning Reports

The initial report of the Planning Officer (December 2018) noted the following:

- the floodlighting may unduly impact on the amenities enjoyed by residents of housing to the south and east of the site;
- it is not clear whether or not the proposed development would lead to increased activity on site;
- it is unlikely that the proposed development would result in parking spilling into neighbouring residential areas;

- any increase in activity on site would primarily be centred on the car park located on the northern side of the site;
- a lighting report and assessment, a bat survey and a structural assessment with respect to the port tunnel are required.

The final report of the Planning Officer (July 2019) clarified that the previous matters raised had been addressed by way of the further information submitted and the recommendation of the Planning Officer reflects the decision of the planning authority.

3.2.2. Other Technical Reports

- Engineering Department (Drainage Division) – no objection, subject to a condition;
- Dublin Port Tunnel Project Office – no response.

3.3. Prescribed Bodies

- TII – further information initially requested and subsequently recommended attachment of a condition should permission be granted;
- National Transport Authority – no response;
- Irish Water – no response.

3.4. Third-Party Observations

- 3.4.1. During consideration of the application by the Planning Authority, four third-party submissions were received from neighbouring residents of High Park, including the High Park Residents' Association. The issues raised in these submissions are similar to those raised within the grounds of appeal and are summarised under this heading below.

4.0 Planning History

4.1. Appeal Site

- 4.1.1. The following recent planning applications relate to the appeal site:

- Dublin City Council (DCC) Ref. 2398/16 – retention permission granted by the Planning Authority in June 2016 for a revised layout to the facility, including playing pitch location, vehicular access off Collins Avenue to a car park with 57 spaces and a two-storey clubhouse facility;
- DCC Ref. 2004/11 – permission granted by the Planning Authority in June 2011 for a two-storey clubhouse, ball-stopping nets, including 13m-high nets behind the goalposts and a retractable 8m-high net along the southeast side of the pitch, two accesses off Collins Avenue and a car park with 85 spaces.

4.2. Surrounding Sites

4.2.1. There have been numerous applications for development in the immediate area, including the following application for a proposed residential development on the lands adjoining to the southwest of the appeal site:

- DCC Ref. 3405/19 – in August 2019 the Planning Authority requested further information with respect to a proposed development comprising amendments to Block F permitted under ABP Ref. PL29N.238685 (as extended until February 2022 by DCC Ref. 3269/10x01) for 358 apartments, a crèche and 3 no. retail/commercial units in 7 no. four to seven-storey blocks over a partial basement level.

5.0 Policy & Context

5.1. Development Plan

5.1.1. The appeal site has a zoning objective 'Z12 - Institutional Land (Future Development Potential)' within the Dublin City Development Plan 2016-2022, with a stated objective 'to ensure that existing environmental amenities are protected in the predominantly residential future use of these lands'. Sections 9 (Sustainable Environmental Infrastructure), 10 (Green Infrastructure, Open Space and Recreation) and 12 (Sustainable Communities and Neighbourhoods) of Volume 1 to the Development Plan are relevant in the assessment of the appeal, including the following planning policies:

- Policy SI26 – lighting proposals to address light spillage;

- Policy SI27 – lighting design to be appropriate to the end use;
- Policy G31 – improve existing sporting/recreational facilities;
- Policy SN19 – improve playing pitches and other recreational facilities;
- Policy MT22 – require structural assessments with respect to developments along the Port Tunnel and other large-scale infrastructure routes.

5.2. Environmental Impact Assessment - Preliminary Examination

- 5.2.1. Having regard to the limited nature and scale of the proposed development and the absence of any connectivity to any sensitive location, there is no real likelihood of significant effects on the environment arising from the proposed development. The need for environmental impact assessment can, therefore, be excluded at preliminary examination and a screening determination is not required.

6.0 The Appeal

6.1. Grounds of Appeal

- 6.1.1. A third-party appeal has been lodged by High Park Residents' Association and in combination with the third-party submissions, the grounds of appeal can be summarised as follows:

Lighting

- proposals would result in excessive light overspill and glare into neighbouring houses within High Park, including rear bedroom windows facing the site;
- there would be excessive light spilling onto the lands to the south, which have permission for a residential development;
- there are several inconsistencies in the lighting report and assessment relative to the proposed development, including the assessment of lighting with 18m high support columns and floodlighting using 36 luminaires, as opposed to the 16m-high support columns and floodlighting using 40 luminaires initially proposed for the development;
- the results of the lighting study submitted are inconclusive, including whether or not spill-lighting control louvres would be fitted to the floodlighting;

- the proposals are silent regarding the scope for alternative lux levels for the floodlighting to be operated relative to the type of activity that would take place, including a necessity for a 300 lux to facilitate hurling matches and a lower lux of 200 for football matches and 100 lux for training;
- an earlier cut-off time of 2130 hours would be more appropriate;

Visual Impacts

- the proposals would have a visually obtrusive appearance both by day and night and a visual impact assessment is necessary to fully assess same;
- there is a lack of planning precedent in the area for the height of the support columns proposed and it is unclear whether or not alternative designs were considered;
- the proposed support columns would be excessive in height and it is clear that their height is needed given the low number of support columns relative to the area they are intended to serve;

Other Matters

- increased activity would arise on site, including additional noise and anti-social behaviour during night-time hours, which would result in undue disturbance to neighbouring properties;
- the survey undertaken to assess the impact of the proposed development on the local bat population was undertaken during the hibernation period when there would have been limited bat numbers;
- the applicant has failed to comply with previous permissions for development on site and during previous construction works on site flooding arose along the High Park boundary and works were undertaken outside of the standard construction hours;
- High Park was in situ prior to the GAA facility and the applicants have not engaged with neighbours regarding their proposals;
- the Irish Aviation Authority was not engaged in relation to the potential impact of the proposed development.

6.2. Applicants' Response

6.2.1. The applicants' response to the grounds of appeal can be summarised as follows:

- grant funding, which the applicants are dependent on, restricted the initial submission of a light assessment;
- as stated in the further information submission, the applicant intends using the spill lighting control louvre;
- this playing pitch is predominantly used for training purposes as the club's main and larger playing pitch is based in Cloghran close to Dublin airport;
- controls would be fitted to reduce lighting lux levels, in order to correspond with the activity being undertaken;
- following the lighting assessment the revised design resulted in the floodlight support columns increasing in height from 16m to 18m and the need for a reduced number of luminaires from 40 to 36;
- use of a maintenance level for the assessment of lighting, as per the lighting report submitted, is common practise, given that the lux lighting levels would be expected to degrade over time and would not always operate at the maximum levels initially installed;
- the lux levels in the area of the future residential development to the south are not significant;
- support columns are positioned as far as practically possible from the residential properties in High Park;
- planning permission was granted in June 2018 for 20m-high floodlighting support columns at the DCU St. Patrick's campus (DCC Ref. 2948/17);
- the condition restricting the operational hours for the floodlighting from 1000 hours to 2200 hours, Monday through Sunday, is reasonable;
- the bat survey undertaken identified low levels of bat activity in the area and any recommendations or mitigation measures outlined within the assessment would be integrated into the proposed development.

6.3. Planning Authority Response

6.3.1. The Planning Authority did not respond to the grounds of appeal.

6.4. Observations

6.4.1. An observation was received from TII and this outlined their previous engagement with the application and requested that a construction management plan be submitted for the proposed development, subject to written approval from TII.

7.0 Assessment

7.1. Introduction

7.1.1. Within the planning application the potential impact of the development on the structural integrity of the Dublin port tunnel and local bat populations has been addressed. In relation to this I note that TII require further engagement prior to the construction of the proposed development and that the installation of the proposed floodlighting would not result in the loss of habitat for bats, including foraging areas, and the proposed floodlighting would be used intermittently with controls and downward emphasis. Consequently, I consider the substantive planning issues arising from the grounds of appeal and in the assessment of the application and appeal, relate to the following:

- Siting & Visual Impact;
- Lighting & Residential Impact.

7.2. Siting & Visual Impact

7.2.1. The grounds of appeal assert that there is no precedent in the area for the proposed development and that the 18m height of the support columns would be excessive and would have a visually obtrusive appearance. In response the applicant notes that permission was granted in June 2018 for 20m-high floodlighting support columns (DCC Ref. 2948/17) on the neighbouring DCU St. Patrick's campus and that the proposed floodlighting support columns have been sited as far as possible from the nearest residential properties.

- 7.2.2. The subject GAA grounds are comparatively new relative to other recreational facilities in the area, including those served by floodlighting, such as Parnell Park, located 1.8km to the east, and the pitches within the DCU St. Patrick's campus, located 1.2km to the southwest. The Dublin City Development Plan 2016-2022 includes policies G31 and SN19, which support the improvement of existing sporting and recreational facilities, including playing pitches. The installation of floodlighting would comply with such policies, particularly in increasing the timescales available to use the playing pitch during the October to March period.
- 7.2.3. The floodlighting is intended to serve an established playing pitch with various ancillary structures, such as ball-stopping nets, dug outs and perimeter fence, and as a result scope to reposition the support columns on site would be restricted to the pitch side. It is stated that the floodlighting support columns would be between 14.6m and 15.9m from the rear gardens of the nearest properties along High Park. The lighting assessment undertaken has identified that six support columns of 18m height would be necessary based on the technical requirements and the receiving environment.
- 7.2.4. The siting of the support columns relative to the nearest residential properties and the number of support columns would be typical for a facility of this scale and nature. The height of the proposed floodlights, as illustrated on the drawings submitted in appendix B to the applicant's report titled 'Dublin Port Tunnel Development Assessment', would also appear reasonable given their distance from residential properties and their intended use and operational controls. The floodlight support columns are of slender design and I am satisfied that when visible during daylight hours, they would not be visually incongruous and, accordingly, would not unduly impact on the character of the area.
- 7.2.5. In conclusion, the proposed development would provide for an upgrade of an established facility in line with policies of the Development Plan and the siting and design of the proposed floodlight support columns would be appropriate relative to their intended function and context. Accordingly, permission should not be refused for reasons relating to the siting of the proposed floodlight support columns and the visual impact of the development.

7.3. Lighting & Residential Impact

- 7.3.1. The grounds of appeal assert that the proposed development would result in excess artificial light from the floodlights spilling into these adjoining areas, which would have undue impacts on the amenities of existing residents along the southeast side of the site and the amenities of future occupants of permitted apartments on open lands adjoining the site to the south. The grounds of appeal also seek clarification regarding certain aspects of the development and the extent of controls that would be applied in the operation of the proposed floodlighting. In response, the applicant states that the proposed development has been designed cognisant of the adjoining areas, including housing along the southeast site, and that the additional lighting to neighbouring areas over the existing levels would not be significant. Within the planning application, including the Lighting Report and Lighting Assessment, the applicant has outlined the technical specifications for the proposed development and the controls and features that would be applied to reduce the potential impact of the development on the immediate area.
- 7.3.2. The proposed floodlighting would be capable of operating at two lux levels. A 100 lux mode would be used during training sessions, while a brighter 300 lux mode would operate during matches, which are anticipated to amount to one match per week during October and March. The floodlights would feature an automatic daily cut-off time of 2200 hours. Furthermore, the floodlights would be an asymmetrical down-light type that would be fitted with spill lighting control louvres and would not feature upward light.
- 7.3.3. According to the applicant the lighting design complies with the standards provided for in the Institute of Lighting Professionals: (ILP) Guidance Notes for the Reduction of Obtrusive Light GN01:2011. Based on this ILP guidance, the immediate site area would fall into environmental zone 'E – medium district brightness areas', and the guidance sets specific exterior light limitations set for this environment. As part of the further information response, the applicant has submitted a drawing (no. DWG 02) illustrating the lux level of lighting on the pitch and its environs based on a standard floodlit match scenario with a 300 lux level and with a maintenance factor of 0.9 (i.e. a 10% reduction in lighting levels).

- 7.3.4. Policies SI26 and SI27 of the Development Plan require lighting proposals to address light spillage and to be appropriate to the end use. The lighting assessment undertaken reveals that the extent of light overspill into neighbouring properties arising from the installation of the proposed floodlights would be most pronounced within the rear gardens of properties to the southeast along High Park. The extent of light spilling into these areas would result in a lux level of 0.2 to 0.8, which would generally be akin to the standard lux level of lighting arising from street lights. Conditions can be attached to ensure that the floodlighting system operates to the levels described and, while the appellant has sought a daily cut-off time of 2130 hours, I am satisfied that given the likely extent of use, the estimated light overspill and the immediate urban context, an automatic daily cut-off time of 2200 hours would be appropriate.
- 7.3.5. In conclusion, I am satisfied that the extent of controls and design features proposed would suitably alleviate the potential extent of light spill into the immediate areas. Consequently, I am satisfied that the proposed development would be in line with relevant Development Plan policies SI26 and SI27 and would not result in undue impacts on the residential amenities of neighbouring properties, both existing, and permitted.

8.0 Appropriate Assessment

- 8.1. Having regard to the minor nature of the proposed development and the location of the site in a serviced urban area and the separation distance to the nearest European site, no Appropriate Assessment issues arise, and it is not considered that the development would be likely to have a significant effect individually or in combination with other plans or projects on a European site.

9.0 Recommendation

- 9.1. I recommend that planning permission for the proposed development should be granted, subject to conditions, for the reasons and considerations set out below.

10.0 Reasons and Considerations

1. Having regard to the nature and scale of the proposed development and to the established use of the site, it is considered that subject to compliance with the conditions below, the proposed development would be acceptable in terms of visual impact, would not seriously injure the residential amenities of the area or of property in the vicinity and would be in accordance with the policies of the Dublin City Development Plan 2016-2022, including policies G31 and SN19 supporting the improvement of sporting facilities and policies SI26 and SI27 requiring appropriately designed lighting proposals. The proposed development would, therefore, be in accordance with the proper planning and sustainable development of the area.

11.0 Conditions

1. The development shall be carried out and completed in accordance with the plans and particulars lodged with the application, as amended by the further plans and particulars submitted on the 6th day of June 2019, except as may otherwise be required in order to comply with the following conditions. Where such conditions require details to be agreed with the planning authority, the developer shall agree such details in writing with the planning authority prior to commencement of development and the development shall be carried out and completed in accordance with the agreed particulars.

Reason: In the interest of clarity.

2. The floodlights or any equivalent replacement floodlights shall be of the asymmetrical down-light type, fitted with spill-lighting control louvres. The floodlights shall be directed onto the playing surface of the pitch and away from adjacent housing and gardens. The floodlights shall be directed and cowled such as to reduce, as far as possible, the light scatter over adjacent

lands, houses and gardens.

Reason: In the interest of residential amenity.

3. The daily operational hours of the floodlighting shall not extend beyond 2200 hours with automatic cut-off of floodlighting at that time.

Reason: To protect the residential amenity of properties in the vicinity.

4. Floodlighting shall be angled and constructed so that no light is emitted above a horizontal plane through the fitting. Positioning and design shall also ensure that no glare is caused to users of the public roads in the vicinity of the development.

Reason: In the interest of traffic safety.

5. Drainage arrangements, including the attenuation and disposal of surface water, shall comply with the requirements of the planning authority for such works and services.

Reason: In the interest of public health.

6. The construction of the development shall be managed in accordance with a Construction Management Plan, which shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. This Plan shall provide details of measures to protect the Dublin port tunnel, the intended construction practice for the development, including hours of working, noise management measures and off-site disposal of construction/demolition waste.

Reason: In the interests of public safety and residential amenity.

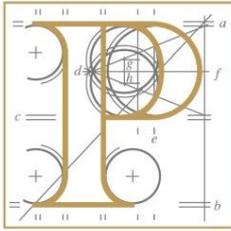
7. Site development and building works shall be carried out between the hours of 0800 to 1800 Mondays to Fridays inclusive, between 0800 to 1400

hours on Saturdays and not at all on Sundays or public holidays. Deviation from these times shall only be allowed in exceptional circumstances where prior written approval has been received from the planning authority.

Reason: In order to safeguard the residential amenities of property in the vicinity.

Colm McLoughlin
Planning Inspector

12th November 2019



Planning and Development Acts 2000 to 2019

Planning Authority: Dublin City Council

Planning Register Reference Number: 4190/18

Appeal by High Park Residents Association care of Michael Downey (Chairperson) of 43 High Park, Grace Park Road, Dublin against the decision made on the 3rd day of July, 2019 by Dublin City Council to grant subject to conditions a permission to Whitehall Colmcille Gaelic Athletic Association Club care of Demesne Architects of Desmond House, Main Street, Maynooth, County Kildare in accordance with plans and particulars lodged with the said Council.

Proposed Development: Installation of new floodlighting to east and west perimeters of the existing Gaelic Athletic Association pitch, consisting of six number 16 metre columns with a total of 40 number floodlight luminaires, as well as all associated site and landscaping works at Whitehall Colmcille Gaelic Athletic Association, Collins Avenue, Whitehall, Dublin.

Decision

GRANT permission for the above proposed development in accordance with the said plans and particulars based on the reasons and considerations under and subject to the conditions set out below.

Matters Considered

In making its decision, the Board had regard to those matters to which, by virtue of the Planning and Development Acts and Regulations made thereunder, it was required to have regard. Such matters included any submissions and observations received by it in accordance with statutory provisions.

Reasons and Considerations

Having regard to the nature and scale of the proposed development and to the established use of the site, it is considered that, subject to compliance with the conditions set out below, the proposed development would not seriously injure the visual or residential amenities of the area or of property in the vicinity and would be in accordance with the policies of the Dublin City Development Plan 2016-2022, including policies GI31 and SN19 supporting the improvement of sporting facilities and policies SI26 and SI27 requiring appropriately designed lighting proposals. The proposed development would, therefore, be in accordance with the proper planning and sustainable development of the area.

Conditions

1. The development shall be carried out and completed in accordance with the plans and particulars lodged with the application, as amended by the further plans and particulars submitted on the 6th day of June, 2019, except as may otherwise be required in order to comply with the following conditions. Where such conditions require details to be agreed with the planning authority, the developer shall agree such details in writing with the planning authority prior to commencement of development and the development shall be carried out and completed in accordance with the agreed particulars.

Reason: In the interest of clarity.

2. The floodlights or any equivalent replacement floodlights shall be of the asymmetrical down-light type, fitted with spill-lighting control louvres. The floodlights shall be directed onto the playing surface of the pitch and away from adjacent housing and gardens. The floodlights shall be directed and cowled such as to reduce, as far as possible, the light scatter over adjacent lands, houses and gardens.

Reason: In the interest of residential amenity.

3. The floodlights shall not be in operation between the hours of 2200 and 1000 Monday to Sunday.

Reason: To protect the residential amenities of the adjoining properties.

4. The development hereby approved shall adhere to the specifications and limitations for the type of floodlights and the operation of the floodlights set out within the report 'Lighting Report and Assessment associated with the proposed floodlighting of the pitch' received by the planning authority on the 6th day of June, 2019. The lamps to be used shall be maintained in good order to ensure compliance with the required Lux levels and to ensure the correct light angles are maintained on the pitch and do not create increased light spill to nearby properties.

Reason: To protect the residential amenities of the adjoining properties.

5. Drainage arrangements, including the attenuation and disposal of surface water, shall comply with the requirements of the planning authority for such works and services.

Reason: In the interest of public health.

6. The construction of the development shall be managed in accordance with a Construction Management Plan, which shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. This Plan shall provide details of measures to protect the Dublin Port Tunnel, the intended construction practice for the development, including noise management measures and off-site disposal of construction/demolition waste.

Reason: In the interests of public safety and residential amenity.

7. Site development and building works shall be carried out between the hours of 0800 to 1800 Mondays to Fridays inclusive, between 0800 to 1400 hours on Saturdays and not at all on Sundays or public holidays. Deviation from these times shall only be allowed in exceptional circumstances where prior written approval has been received from the planning authority.

Reason: In order to safeguard the residential amenities of property in the vicinity.

John Connolly

Member of An Bord Pleanála

duly authorised to authenticate

the seal of the Board.

Dated this day of 2019.